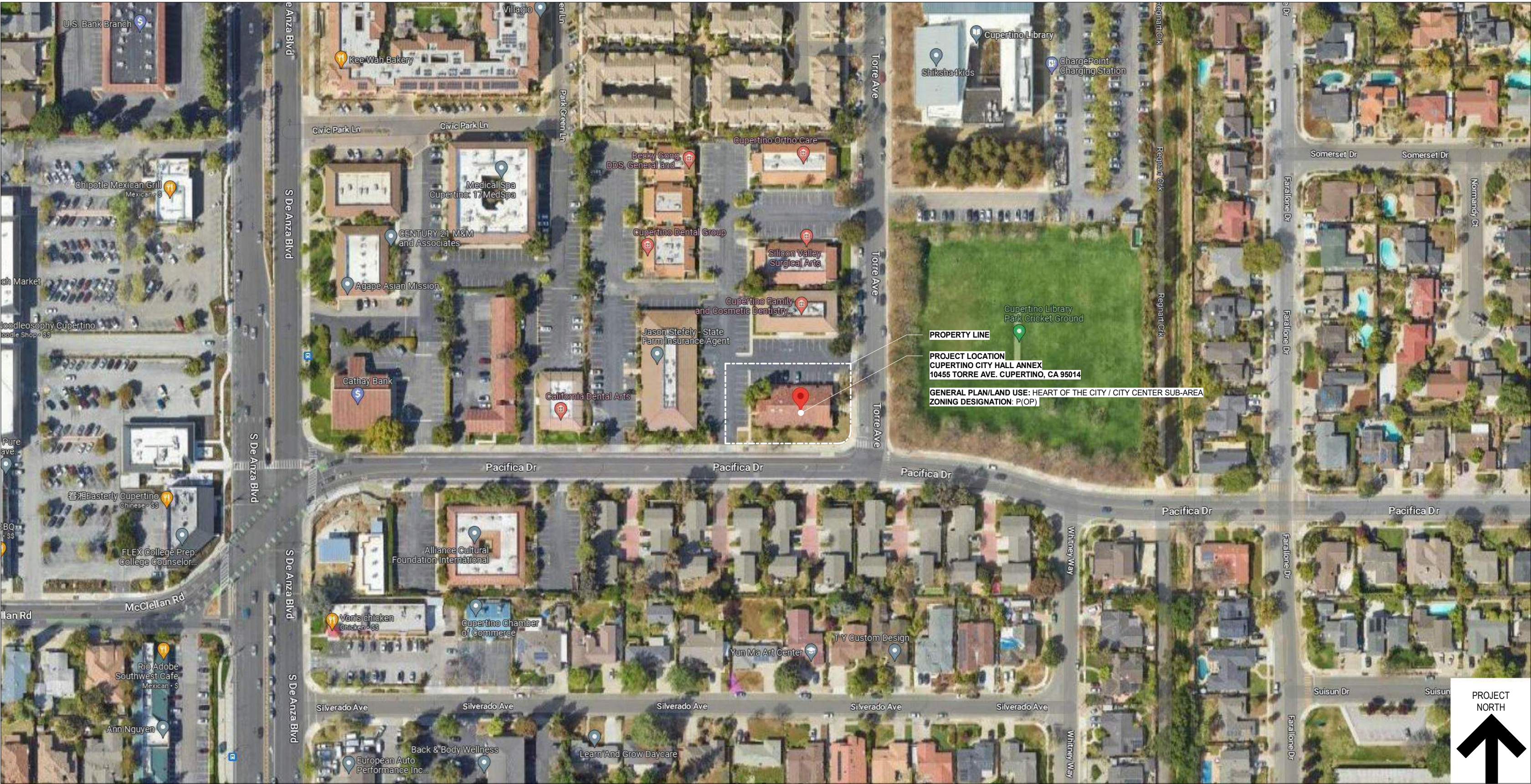


RENOVATION OF CUPERTINO CITY HALL ANNEX

10455 TORRE AVE. CUPERTINO, CA 95014
APN: 369-40-009

VICINITY MAP



DESIGN TEAM

ARCHITECT: DIALOG
ADDRESS: 500 SANSOME ST #370 SAN FRANCISCO, CA 94111
CONTACT: SILVIA PEREZ
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LADNSCAPE ARCHITECT: DILLINGHAM ASSOCIATES
ADDRESS: 2927 NEWBURY ST BERKELEY, CA 94703
CONTACT: PAUL DILLINGHAM
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ELECTRICAL ENGINEER: WKM ELECTRICAL CONSULTANTS INC.
ADDRESS: 3397 MT. DIABLO BLVD SUITE C LAFAYETTE, CA 94549
CONTACT: JOSE WE
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ABBREVIATIONS

(E)	EXISTING	P.D.E.	PRIVATE DRIVEWAY EASEMENT
(N)	NEW	P.DRG.E.	PRIVATE DRAINAGE EASEMENT
AC	ASPHALT CONCRETE	P.U.E.	PUBLIC UTILITY EASEMENT
EV	ELECTRICAL VEHICLE	S.L.D.	SEE LANDSCAPE DRAWINGS
FDP	FIRE DEPARTMENT POINT OF CONNECTION	TYP.	TYPICAL
HVAC	HEATING VENTILATION AIR CONDITIONING	U.O.N.	UNLESS OTHERWISE NOTED

PROJECT DECEIPTION

SCOPE IS IMPROVEMENT OF EXISTING CITY HALL ANNEX, IN GENERAL, THE PROJECT SCOPE CONTAINS:

1.0 EXTERIOR SCOPE:

- 1.1 DEMO: REMOVAL OF EXTERIOR STAIRS, EXISTING TURF, TREES, PARKING WHEELSTOPS AND STRIPING, PERIMETER WINDOWS AND ENTRY DOORS, SKYLIGHTS, MECHANICAL EQUIPMENT, AND UTILITY TRENCHING.
- 1.2 ACCESSIBILITY: INSTALLTION OF WALKWAY AND RAMP, PARKING AND VAN SPACES AND RELATED WAYFINDING SIGNAGE.
- 1.3 IMPROVEMENT: INSTALLATION OF NEW PERIMETER WINDOWS AND ENTRY DOORS, SKYLIGHTS, TRELLIS, CONCRETE WALK SECTIONS, CONCRETE STAIRS, TRASH ENCLOSURE, BIKE RACKS, PATIO DECK, OUTDOOR FURNITURE AND FENCE, MECHANICAL EQUIPMENT, ELECTRICAL AND FIRE EQUIPMENT, GENERATOR QUICK DISCONNECT, AUTOMATIC TRANSFER SWITCH, WATER-WISE PLANTS AND TREES, WHEELSTOPS AND PARKING STRIPING, AND WORK OUTLINED HEREIN.

2.0 INTERIOR SCOPE:

- 2.1 DEMO: REMOVAL OF ALL INTERIOR PARTITIONS, DOORS, FINISHES, MECHANICAL, ELECTRICAL, AND PLUMBING LINES AND EQUIPMENT, STRUCTURAL COLUMNS, STRUCTURAL FRAMING AND FOOTING ALTERATIONS
- 2.2 ACCESSIBILITY: INSTALLATION OF RESTROOMS, DRINKING FOUNTAIN, DOOR HARDWARE, AND SIGNAGE.
- 2.3 IMPROVEMENT: INSTALLATION OF NEW SHEAR WALLS, FOOTINGS, WOOD AND STEEL COLUMNS AND BEAMS, MECHANICAL EQUIPMENT, ELECTRICAL FIXTURES AND EQUIPMENT, FIRE ALARM, WALL PARTITIONS, ALUMINUM STOREFRONTS, DOORS AND FRAMES, FURNITURE AND FINISHES, AND WORK OUTLINED HEREIN.

3.0 DEFERRED SUBMITTALS:

- 1.1 FIRE SPRINKLER SYSTEM.
- 1.2 FIRE ALARM

AND RELATED FINISHES AND MODIFICATIONS AS OUTLINED IN CONTRACT DOCUMENTS.

STATEMENT OF DESIGN INTENT

ALTHOUGH THE BUILDING IS NOT LARGE, IT IS A PART OF THE GREATER CIVIC CENTER, AND THE EXTERIOR SCALE SHOULD REFLECT THIS RELATION AND BUILD UPON THE CIVIC IDENTITY. MATERIALS SHOULD HARMONIZE WITH THE BUILDING, WITHOUT BEING OVERLY INTRICATE. THE SCALE, MATERIALS, AND PLANTING SHOULD CREATE A HIERARCHY OF SPACES SO THAT THE BUILDING'S EAST FACE IS CLEARLY THE MAIN ENTRY, WITHOUT NEED FOR SIGNAGE.

THE MAIN ENTRY WILL ACCOMMODATE A MIX OF SHADED AND EXPOSED SEATING FOR 10 – 15 VISITORS, AND PROVIDE VISUAL INTEREST AND CIVIC IDENTITY. A NEW EMPLOYEE LUNCH PATIO WILL PROVIDE DAPPLIED SHADE IN SUMMER AND SUNLIGHT IN WINTER, WITH A PRIVACY FENCE SCREEN. RE-LOCATION OF THE EXISTING TRASH ENCLOSURE WILL ALLOW FOR THIS NEW PATIO.

HEALTHY EXISTING TREES WILL REMAIN WHERE POSSIBLE. NEW TREES WILL SERVE TO FRAME THE MAIN ENTRY, AND TO SHADE THE BUILDING IN SUMMER, WHILE ALLOWING NATURAL LIGHTING IN WINTER. THE LOW-WATER PLANTING PALETTE TAKES ITS CUES FROM THE PLANT PALETTE AT CITY HALL.

PEDESTRIAN CIRCULATION WILL BE IMPROVED WITH NEWLY COMPLIANT ACCESS TO THE MAIN ENTRY AND TO AN AUXILIARY STAFF ENTRY. SITE WALKWAYS WILL BE RENOVATED OR REBUILT ANYWHERE CROSS SLOPE IS NON-COMPLIANT.

SITE DRAINAGE WILL REMAIN SIMILAR TO THE EXISTING CONDITION. MINOR GRADING OF THE LARGE SOUTHERN PLANTING AREA WILL RETAIN MORE STORMWATER ONSITE, RATHER THAN CREATING RUNOFF ONTO THE CITY SIDEWALK.

THE SITE IS NOT INTENDED TO BE USED AFTER WORKING HOURS. HOWEVER, THE ENTRY STAIRS AND RAMPS WILL HAVE SUFFICIENT LIGHT FOR WINTER USE AT DUSK.

TABLE OF CONTENTS

SHEET #	SHEET NAME	PAGE #	DATE PREPARED
G0.0	COVER SHEET	1	03/21/2023
A1.0	SITE PLAN - PROPOSED	2	03/21/2023
A1.1	SITE PLAN - EXISTING	3	03/21/2023
A2.2	MAIN BUILDING FLOOR PLAN - PROPOSED	4	03/21/2023
A2.3	UPPER BUILDING FLOOR PLAN - PROPOSED	5	03/21/2023
A3.0	BUILDING ROOF PLAN - PROPOSED	6	03/21/2023
A4.0	BUILDING CROSS SECTIONS - PROPOSED	7	03/21/2023
A5.0	BUILDING NORTH ELEVATIONS	8	03/21/2023
A5.1	BUILDING SOUTH ELEVATIONS	9	03/21/2023
A5.2	BUILDING EAST ELEVATIONS	10	03/21/2023
A5.3	BUILDING WEST ELEVATIONS	11	03/21/2023
A6.0	RENDERING - PROPOSED AND EXISTING	12	03/21/2023
A6.1	RENDERING - PROPOSED AND EXISTING	13	03/21/2023
A7.0	MATERIAL BOARD	14	03/21/2023
L1.0	LANDSCAPE PLAN	15	03/21/2023
L1.1	PLANTING NOTES, LIST & SCHEDULE	16	03/21/2023
L1.2	LANDSCAPE DETAILS	17	03/21/2023
L1.3	LANDSCAPE DETAILS	18	03/21/2023
E2.0	PHOTOMETRIC PLAN	19	03/21/2023
SHEET 1	BOUNDARY AND TOPOGRAPHIC SURVEY (FOR REFERENCE ONLY)	20	05/23/2022



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RENOVATION OF CUPERTINO CITY HALL ANNEX

10455 TORRE AVE. CUPERTINO, CA 95014

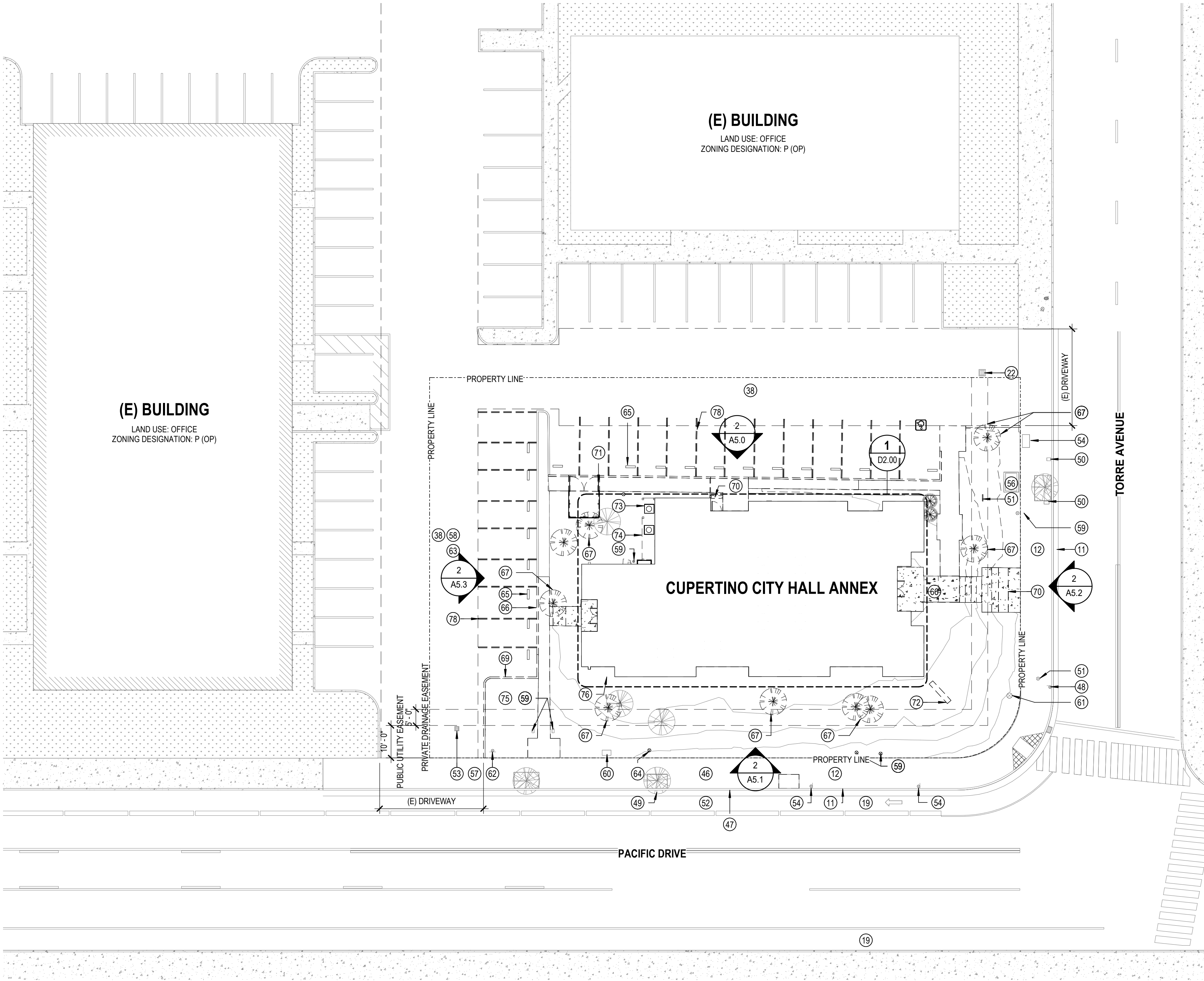
COVER SHEET

2005958

G0.0

04/21/2023

KEYNOTES	
Key Value	Keynote Text
11	(E) GUTTER
12	(E) CONCRETE SIDEWALK
19	(E) BIKE LANE
22	(E) STORM DRAIN INLET
38	(E) AC PAVEMENT
46	EXISTING TO REMAIN CONCRETE SIDEWALK
47	EXISTING TO REMAIN CONCRETE CURB & GUTTER
48	EXISTING TO REMAIN STOP SIGN
49	EXISTING TO REMAIN TREE, TYP. U.O.N.
50	EXISTING TO REMAIN HV
51	EXISTING TO REMAIN WATER VALVE
52	EXISTING TO REMAIN BIKE LANE
53	EXISTING TO REMAIN DRAIN
54	EXISTING TO REMAIN PHONE BOX
56	EXISTING TO REMAIN TRANSFORMER AND CONCRETE PAD
57	EXISTING TO REMAIN CONCRETE WALK, S.L.D.
58	EXISTING TO REMAIN ASPHALT PAVEMENT
59	EXISTING TO REMAIN IRRIGATION CONTROL VALVE, S.L.D.
60	EXISTING TO REMAIN COMMUNICATIONS BOX
61	EXISTING TO REMAIN UTILITY BOX
62	EXISTING TO REMAIN PARKING SIGN
63	EXISTING TO REMAIN DRIVE AISLE
64	EXISTING TO REMAIN SANITARY CLEANOUT
65	REMOVE EXISTING WHEELSTOPS, TYP. ALL U.O.N.
66	REMOVE EXISTING CONCRETE WALK, EXTENT AS SHOWN
67	REMOVE EXISTING LANDSCAPING, S.L.D.
69	REMOVE EXISTING CONCRETE CURB, EXTENT AS SHOWN
70	REMOVE EXISTING CONCRETE STAIRS COMPLETE
71	REMOVE EXISTING TRASH ENCLOSURE COMPLETE
72	REMOVE EXISTING BUILDING SIGN
73	REMOVE EXISTING MECHANICAL EQUIPMENT COMPLETE
74	REMOVE EXISTING FENCE
75	CLEAR AND GRUB FOR CONCRETE PAD, S.L.D.
76	CLEAR AND GRUB FOR CONCRETE PAD, S.M.D.
78	REMOVE EXISTING PAVEMENT MARKING, TYP. ALL U.O.N.



1
A1.1

EXISTING SITE PLAN
SCALE: 1" = 20'-0"



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RENOVATION OF CUPERTINO CITY HALL ANNEX

10455 TORRE AVE. CUPERTINO, CA 95014

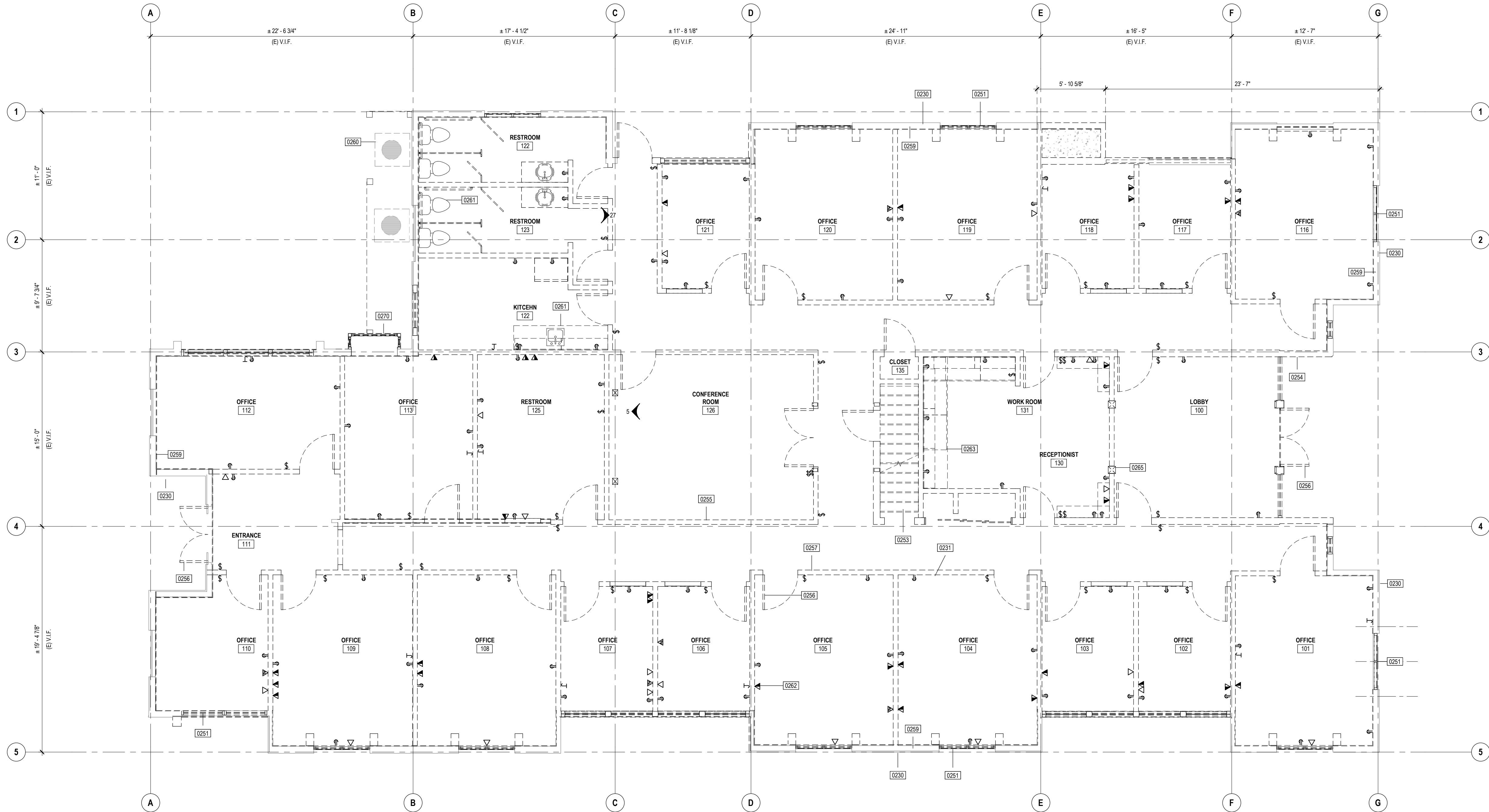
SITE PLAN - EXISTING

2005958

A1.1

04/21/2023

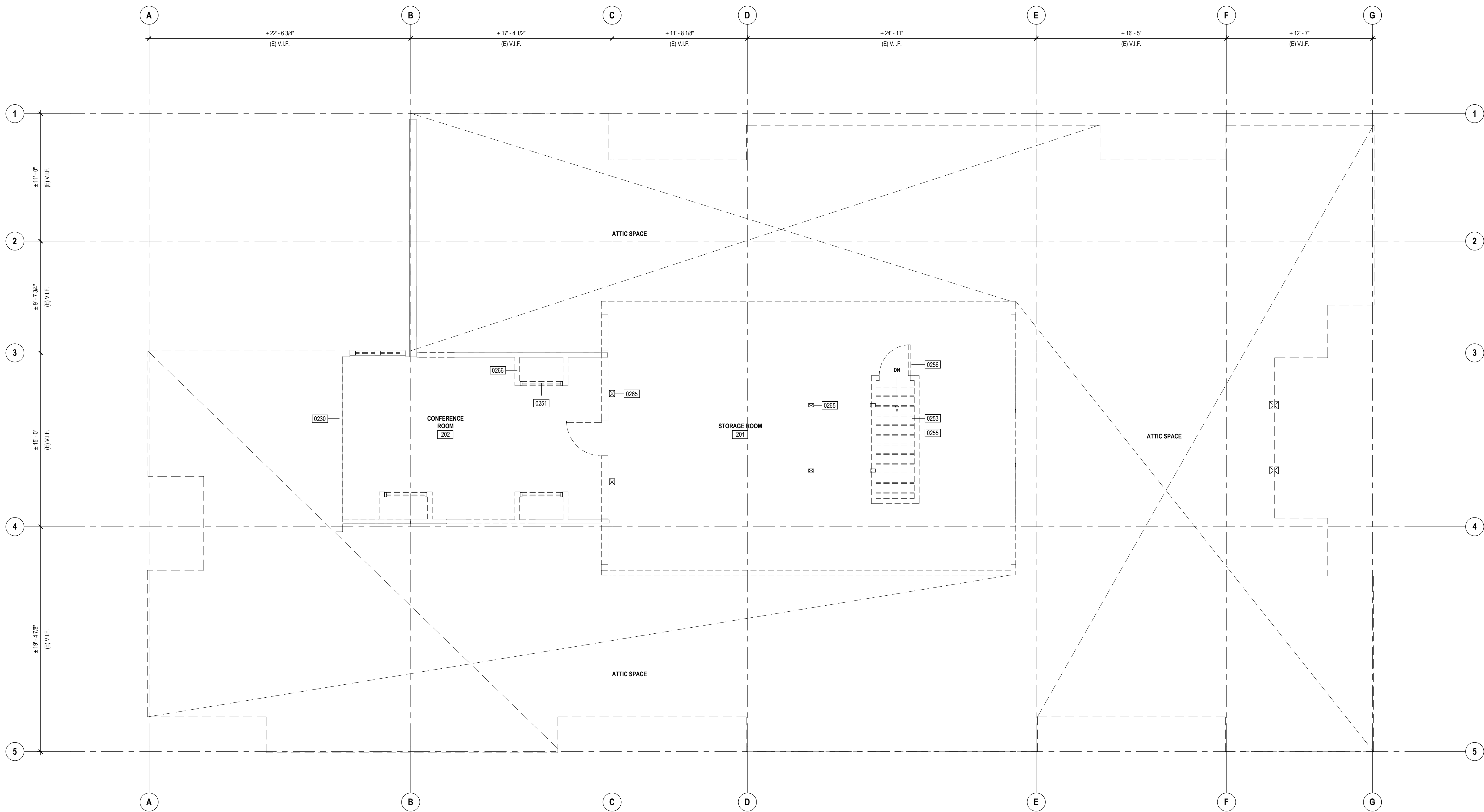
3



1 DEMOLITION FLOOR PLAN - MAIN FLOOR
SCALE: 1/4" = 1'-0"



		NOTES		KEYNOTES		KEYNOTES		LEGEND																																			
				<table><tr><th>Key Value</th><th>Keynote Text</th></tr><tr><td>0230</td><td>EXISTING TO REMAIN PERIMETER WALLS, TYP. ALL U.O.N.</td></tr><tr><td>0231</td><td>EXISTING TO REMAIN WOOD SUBFLOOR, TYP. U.O.N.</td></tr><tr><td>0251</td><td>REMOVE EXISTING WINDOWS, TYP. ALL</td></tr><tr><td>0253</td><td>REMOVE EXISTING STAIRS COMPLETE</td></tr><tr><td>0254</td><td>REMOVE EXISTING PORCH ARCH AT EXTERIOR AND INTERIOR, INCLUDING DOORS, TRIM AND GLAZING</td></tr><tr><td>0255</td><td>REMOVE EXISTING INTERIOR WALLS, TYP. ALL</td></tr><tr><td>0256</td><td>REMOVE EXISTING DOORS AND FRAMES, TYP. ALL</td></tr></table>		Key Value	Keynote Text	0230	EXISTING TO REMAIN PERIMETER WALLS, TYP. ALL U.O.N.	0231	EXISTING TO REMAIN WOOD SUBFLOOR, TYP. U.O.N.	0251	REMOVE EXISTING WINDOWS, TYP. ALL	0253	REMOVE EXISTING STAIRS COMPLETE	0254	REMOVE EXISTING PORCH ARCH AT EXTERIOR AND INTERIOR, INCLUDING DOORS, TRIM AND GLAZING	0255	REMOVE EXISTING INTERIOR WALLS, TYP. ALL	0256	REMOVE EXISTING DOORS AND FRAMES, TYP. ALL	<table><tr><th>Key Value</th><th>Keynote Text</th></tr><tr><td>0257</td><td>REMOVE EXISTING FLOOR FINISH, TYP. ALL</td></tr><tr><td>0259</td><td>REMOVE EXISTING INTERIOR WALL FINISH, TYP. ALL</td></tr><tr><td>0260</td><td>REMOVE EXISTING MECHANICAL EQUIPMENT COMPLETE</td></tr><tr><td>0261</td><td>REMOVE EXISTING PLUMBING FIXTURES, TYP. ALL</td></tr><tr><td>0262</td><td>REMOVE EXISTING ELECTRICAL EQUIPMENT AND FIXTURES, TYP. ALL</td></tr><tr><td>0263</td><td>REMOVE EXISTING CASEWORK, TYP. ALL</td></tr><tr><td>0265</td><td>REMOVE EXISTING COLUMNS, TYP. S.S.D.</td></tr><tr><td>0270</td><td>REMOVE EXISTING GREENHOUSE WINDOW</td></tr></table>		Key Value	Keynote Text	0257	REMOVE EXISTING FLOOR FINISH, TYP. ALL	0259	REMOVE EXISTING INTERIOR WALL FINISH, TYP. ALL	0260	REMOVE EXISTING MECHANICAL EQUIPMENT COMPLETE	0261	REMOVE EXISTING PLUMBING FIXTURES, TYP. ALL	0262	REMOVE EXISTING ELECTRICAL EQUIPMENT AND FIXTURES, TYP. ALL	0263	REMOVE EXISTING CASEWORK, TYP. ALL	0265	REMOVE EXISTING COLUMNS, TYP. S.S.D.	0270	REMOVE EXISTING GREENHOUSE WINDOW	☐ TO BE DEMO ☐ EXISTING TO REMAIN	
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DIALOG® 500 SANSOME ST #370 SAN FRANCISCO, CA 94111		CONSULTANT STAMPS																																									



1 DEMOLITION FLOOR PLAN - UPPER FLOOR
D2.01 SCALE: 1/4" = 1'-0"



NOTES

KEYNOTES

KEYNOTES

LEGEND

Key Value	Keynote Text
0230	EXISTING TO REMAIN PERIMETER WALLS, TYP. ALL U.O.N.
0231	REMOVE EXISTING WINDOWS, TYP. ALL
0251	REMOVE EXISTING STAIRS COMPLETE
0253	REMOVE EXISTING INTERIOR WALLS, TYP. ALL
0255	REMOVE EXISTING DOORS AND FRAMES, TYP. ALL
0256	REMOVE EXISTING COLUMNS, TYP. S.S.D.
0266	REMOVE EXISTING LIGHT WELLS, TYP. ALL

- ☐ TO BE DEMO
☐ EXISTING TO REMAIN

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500 SANSOME ST #370 SAN FRANCISCO, CA 94111
1/23/2023 8:44:01 AM

CONSULTANT

STAMPS

Date: 1/23/2023 8:44:01 AM
Scale: 1/4" = 1'-0"
Designer: LB/SP
Drawn: AD/SP
Proj. Engr:
File: CA100059 - 2005958

RENOVATION OF CUPERTINO CITY HALL ANNEX
10455 TORRE AVE. CUPERTINO, CA 95014
CUPERTINO CALIFORNIA

FOR CITY OF CUPERTINO USE
PROJECT # -----
PUBLIC WORKS
INSPECTOR:
VOICE MAIL:
PROJECT ENGINEER
NAME DATE



CITY OF CUPERTINO
D2.01
DEMOLITION UPPER FLOOR PLAN



EAST-WEST VIEW OF LOBBY/RECEPTION



EAST FACADE - MAIN ENTRY VIEW

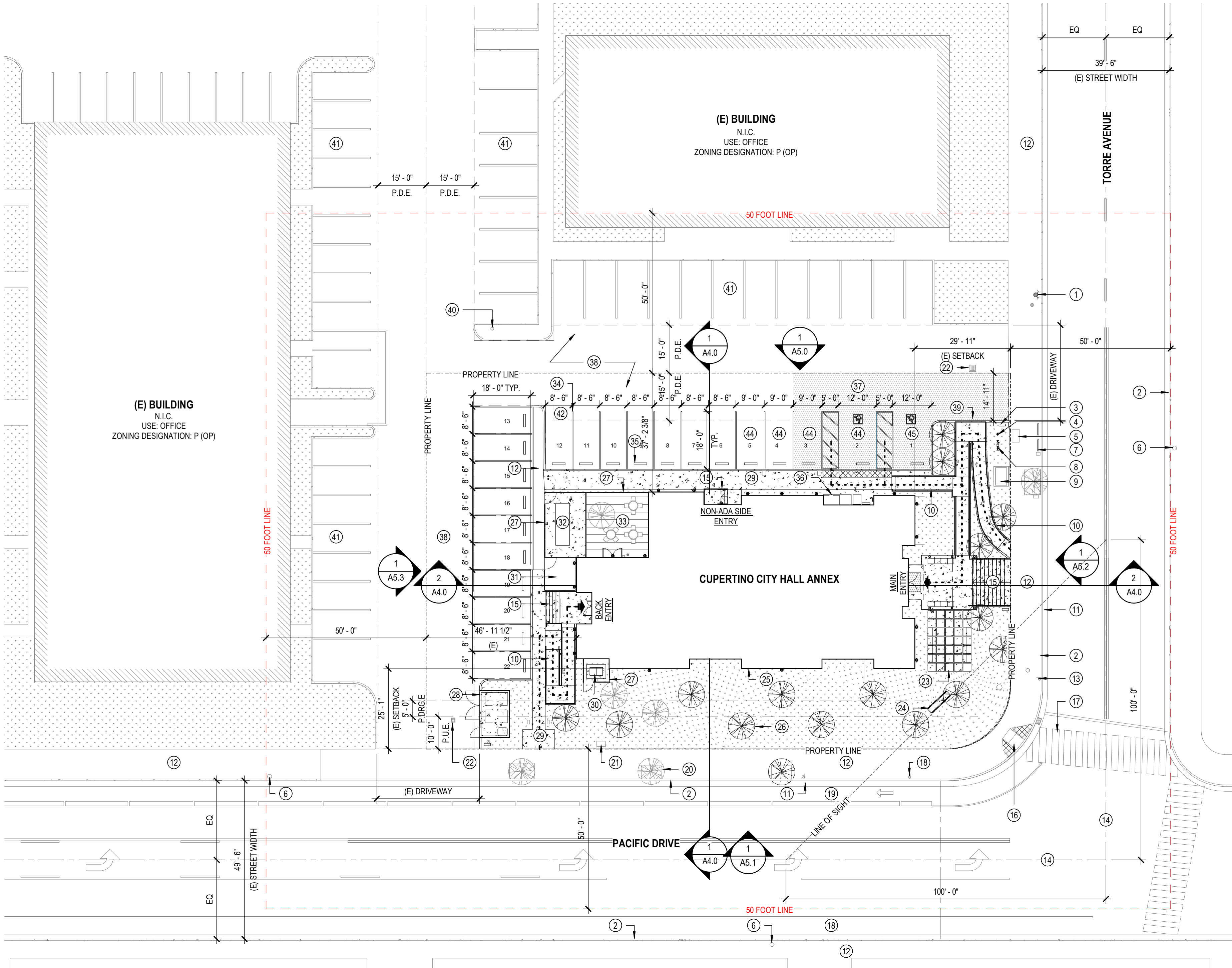


EAST-WEST VIEW OF LOBBY/RECEPTION



SOUTH FACADE - SIDE VIEW

KEYNOTES		
Key Value		Keynote Text
1	(E) FIRE HYDRANT	
2	(E) CONCRETE CURB	
3	(N) WAY-FINDING SIGN	
4	(N) POST INDICATOR VALVE	
5	(E) PHONE BOX IN GRADE	
6	(E) STREET LIGHT POST	
7	(N) BIKE RACK	
8	(N) FDPC	
9	(E) TRANSFORMER	
10	(N) 1:12 RAMP MAX	
11	(E) GUTTER	
12	(E) CONCRETE SIDEWALK	
13	(E) STOP SIGN	
14	(E) STREET CENTER LINE	
15	(N) STAIRS	
16	(E) CURB CUT	
17	(E) PAVEMENT MARKINGS, TYP.	
18	(E) BIKE LANE SIGN	
19	(E) BIKE LANE	
20	(E) TREE, TYP.	
21	(E) COMMUNICATION BOX	
22	(E) STORM DRAIN INLET	
23	(N) PAVERS, S.L.D.	
24	(N) BUILDING SIGN	
25	(E) BUILDING	
26	(N) TREE, TYP., S.L.D.	
27	(N) FENCE, S.L.D.	
28	(N) TRASH ENCLOSURE, S.L.D.	
29	(N) CONCRETE WALK	
30	(N) HVAC	
31	(N) BIKE STORAGE, S.L.D.	
32	(N) PERMANENT GENERATOR	
33	(N) PATIO, S.L.D.	
34	(N) PAVEMENT MARKINGS	
35	(N) WHEELSTOPS, TYP.	
36	(N) SWITCHGEAR	
37	(N) AC PAVEMENT	
38	(E) AC PAVEMENT	
39	(N) CURB	
40	(E) SITE LIGHT POST	
41	(E) PARKING, N.I.C.	
42	(N) COMPACT SPACE, TYP., U.O.N.	
44	(N) EV STATION	
45	(N) VAN ACCESSIBLE	



1 SITE PLAN
A1.0 SCALE: 1" = 20'-0"

DEVELOPMENT PROGRAM

PROPERTY INFORMATION		
TOTAL LOT COVERAGE:	21,449SF (0.48 ACRE)	
LAND USE:	HEART OF THE CITY (CIVIC CENTER NODE)	
ZONING:	P (OP)	
BUILDING AREA:	4,998 SF (EXISTING)	
BUILDING HEIGHT:	18' - 11" (NEW) 40 FEET MAX ALLOWED	
NUMBER OF STORIES:	1 WITH MEZZANINE	
MEZZANINE AREA:	948 SF	
ROOF AREA:	6,106 SF (EXISTING)	
PROJECTED EMPLOYEES:	33 EMPLOYEES	
HOURS OF OPERATION:	7AM - 6PM	
PERCENT LOT COVERAGE:	6,106SF / 21,449 SF = 0.28 OR 28%	
LANDSCAPING, COMMON SPACE AND PRIVATE USABLE SPACE NET AREA:	15,645 SF (INCLUDES PARKING)	
PARKING AREA:	3,658 SF	
PARKING REQUIREMENTS		
EXISTING:22	REMOVED:1	PROVIDED:21
PER CUPERTINO MUNICIPAL CODE SECTION 19.124.040(A) FOR CG/OP ZONES 1/285SF REQUIRED 4998 SF / 285 SF = 18 REQUIRED		
ACCESSIBLE PARKING REQUIREMENTS:		
PER TABLE 11B-208.2, 1 ACCESSIBLE PARKING SPACE IS REQUIRED FOR 1 TO 25 PROVIDED PARKING SPACES		
1 VAN ACCESSIBLE PARKING SPACE PROVIDED PER 11B-208.		
ELECTRIC VEHICLE PARKING REQUIREMENTS:		
PER CAL GREEN BUILDING STANDARDS TABLE 5.106.5.3.1, FOR 10 TO 25 PARKING SPACES PROVIDED: 4 EV SPACES REQUIRED		
ELECTRIC VEHICLE CHARGING STATIONS PROVIDED: 4 LEVEL 2, INCLUDES 1 VAN ACCESSIBLE SPACE		
BICYCLE PARKING		
EXISTING:0	PROVIDED: 6 ENCLOSED STAFF RACKS; 2 PUBLIC RACKS	
PER CUPERTINO MUNICIPAL CODE TABLE 19.124.040(A) 1/1,250 SF 4,998 SF / 1,250 SF = 4 CLASS I SPACES REQUIRED		
PER CAL GREEN BUILDING STANDARDS SECTION 5.106.4, 5% OF TOTAL PARKING SPACES PROVIDED AT LEAST ONE TWO-BIKE CAPACITY RACK		
21 PARKING SPACES PROVIDED X 0.5 = 1.05 OR 2 REQUIRED		

LEGEND

	LANDSCAPING, S.L.D.
	NEW CONCRETE PAVEMENT
	NEW ASPHALT PAVEMENT
	PROPERTY LINE
	EASEMENT LINE
	LINE OF SIGHT
	PATH OF TRAVEL LINE
	PRIVATE DRIVEWAY EASEMENT
	ACCESSIBLE ENTRY
	KEYNOTE NUMBER

NOTES

- PER CITY OF CUPERTINO STANDARDS 7-4 FOR UNCONTROLLED INTERSECTIONS, WITHIN LINE OF SIGHT TRIANGLE, THERE SHALL BE NO SIGHT OBSCURING WALL, FENCE, SIGN, OR FOLIAGE HIGHER THAN 42 INCHES FROM STREET GRADE. IN THE CASE OF TREES, LOWER BRANCHES SHALL BE TRIMMED UP EIGHT (8) FEET SIX (6) INCHES FROM GRADE.



DIALOG®

RENOVATION OF CUPERTINO CITY HALL ANNEX

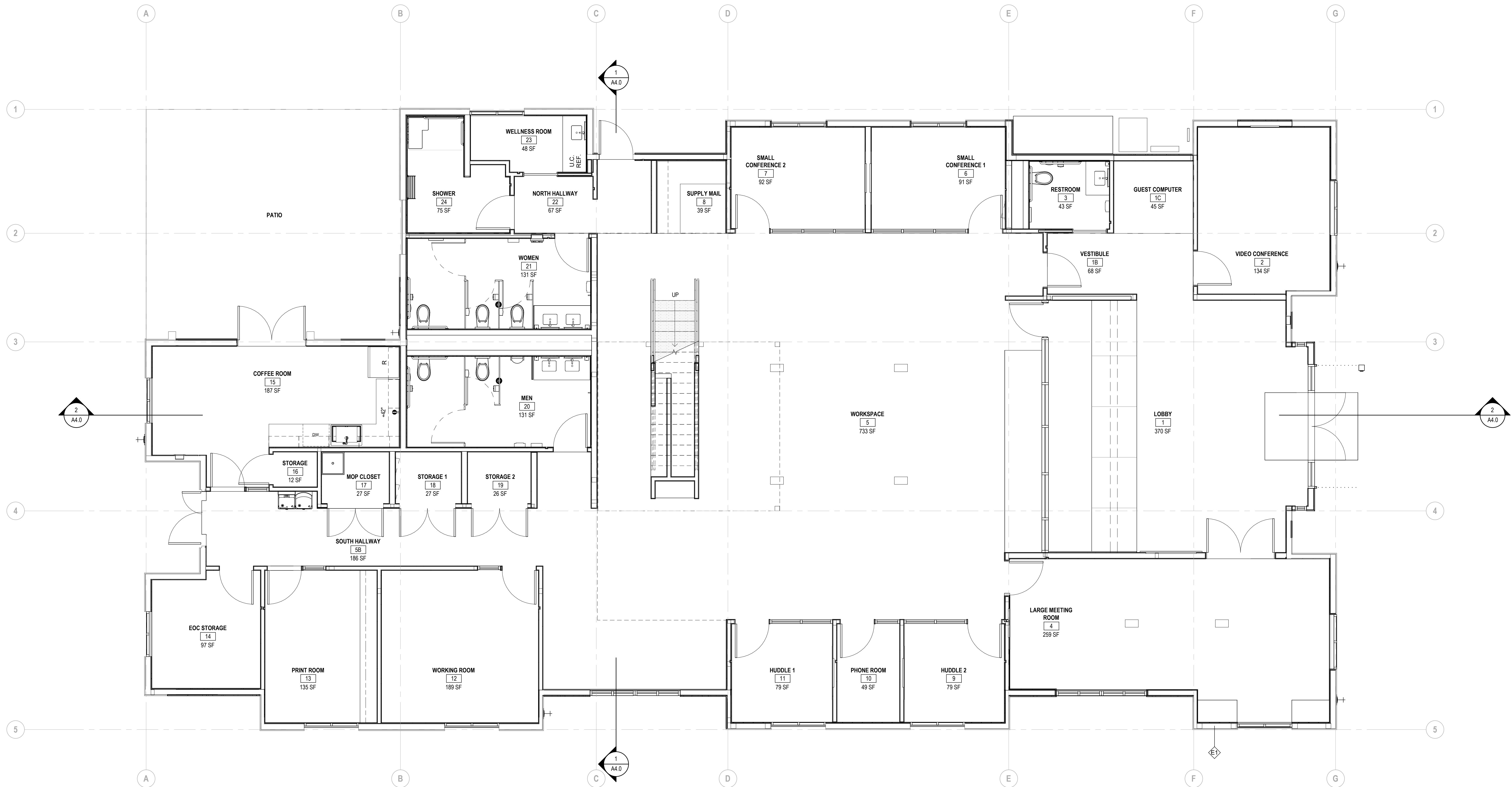
10455 TORRE AVE. CUPERTINO, CA 95014

SITE PLAN - PROPOSED

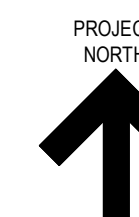
2005958

A1.0

04/21/2023



1
A2.0
PROPOSED FLOOR PLAN - MAIN FLOOR
SCALE: 1/4" = 1'-0"



DIALOG

RENOVATION OF CUPERTINO CITY HALL ANNEX

10455 TORRE AVE. CUPERTINO, CA 95014

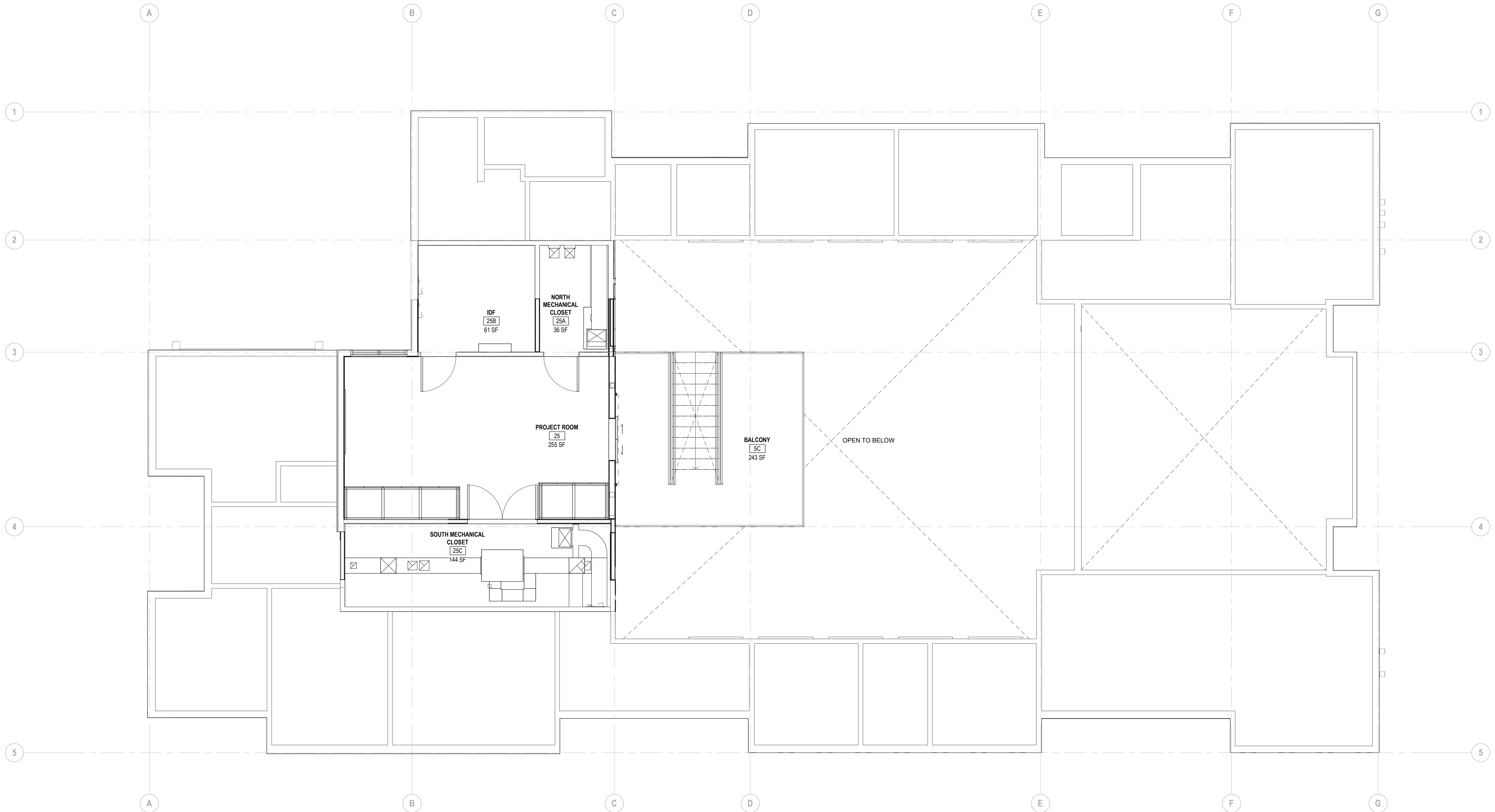
MAIN FLOOR PLAN - PROPOSED

2005958

A2.0

04/21/2023

4



1
A2.1
PROPOSED FLOOR PLAN - UPPER FLOOR
SCALE: 1/4" = 1'-0"



DIALOG[®]

RENOVATION OF CUPERTINO CITY HALL ANNEX

10455 TORRE AVE. CUPERTINO, CA 95014

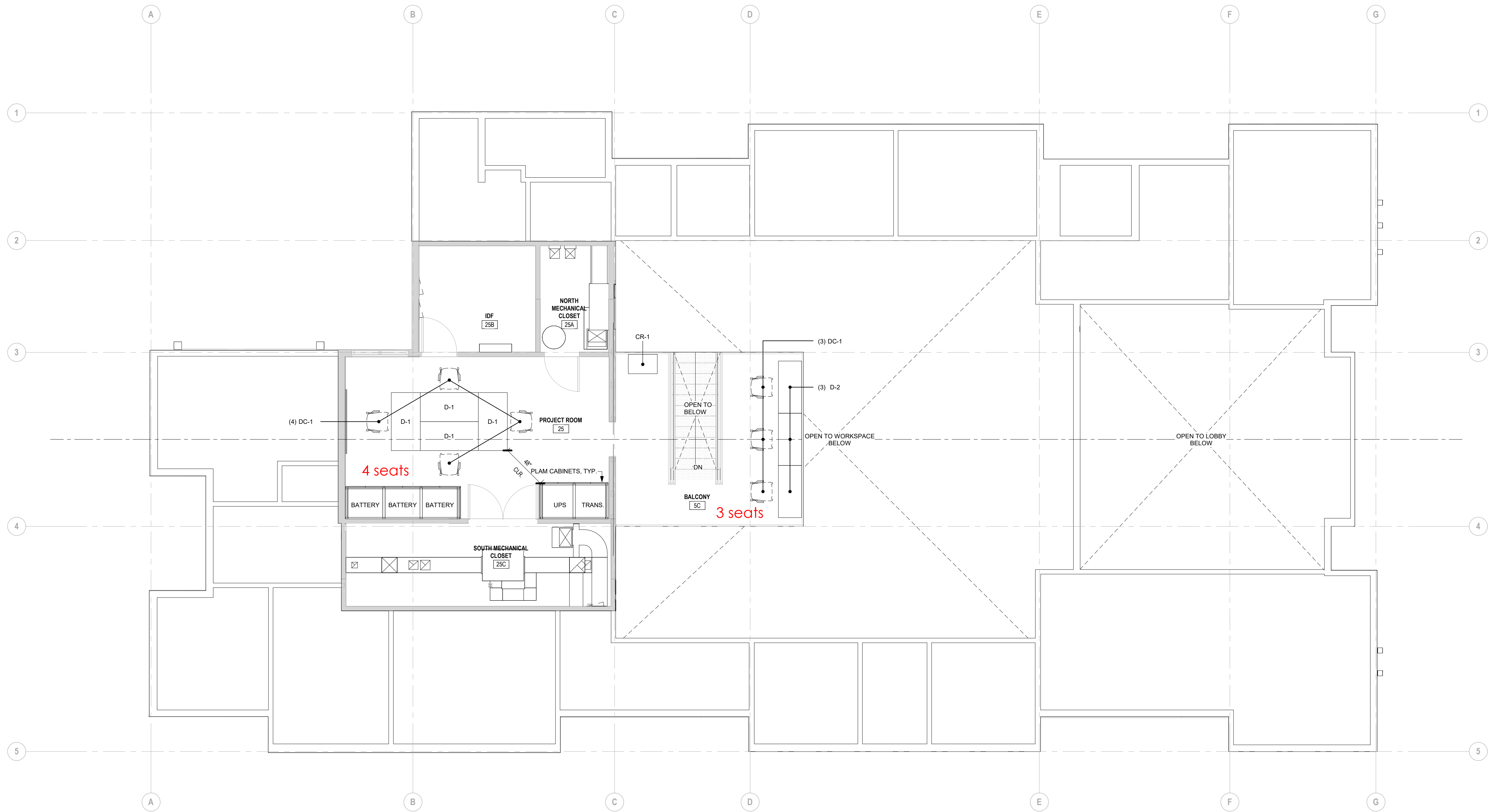
UPPER FLOOR PLAN - PROPOSED

2005958

A2.1

01/23/23

5



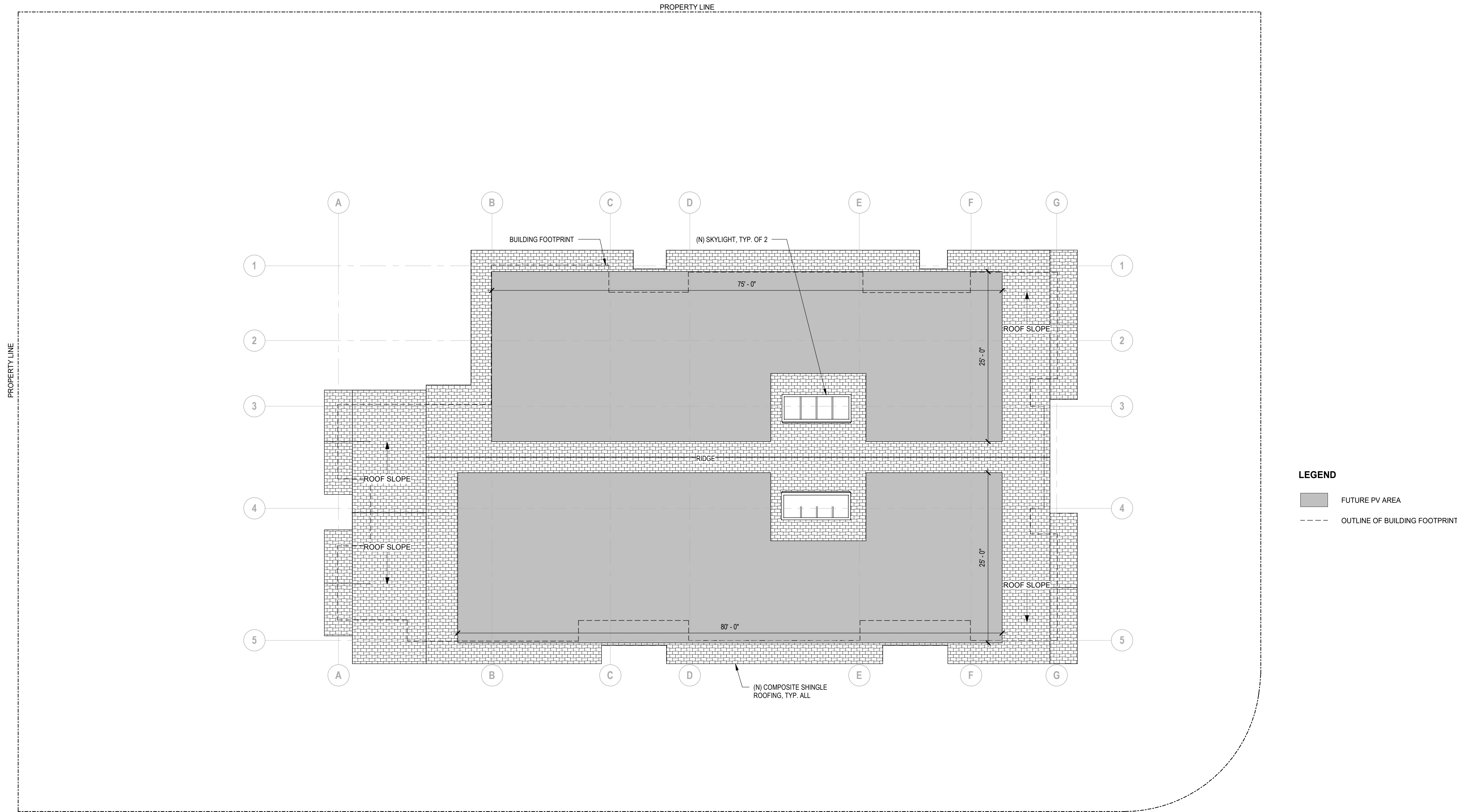
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A9.01 FURNITURE FLOOR PLAN - UPPER FLOOR
SCALE: 1/4" = 1'-0"



FURNITURE LEGEND - UPPER FLOOR		
ID	TYPE	COUNT
D-1	DESKS	4
D-2	DESKS	3
DC-1	DESK CHAIRS	7

KEYNOTES		KEYNOTES	
Key Value	Keynote Text	Key Value	Keynote Text

LEGEND



1 PROPOSED ROOF PLAN
A3.0 SCALE: 1/8" = 1'-0"



DIALOG

RENOVATION OF CUPERTINO CITY HALL ANNEX

10455 TORRE AVE. CUPERTINO, CA 95014

ROOF PLAN - PROPOSED

2005958

A3.0

04/21/2023

6



LEGEND
S-1 WALL SCONCE FIXTURE, SEE ELECTRICAL DRAWINGS
E-1 EXISTING STUCCO FINISH W/ HEAVY TEXTURE TO REMAIN
E-2 EXISTING FOUNDATION CONCRETE OFFSET
M-1 NEW STUCCO FINISH TO MATCH EXISTING IN TEXTURE AND COLOR
M-2 NEW BLACK ALUMINUM PANEL





LEGEND

S-1 WALL SCONCE FIXTURE, SEE ELECTRICAL DRAWINGS

E-1 EXISTING STUCCO FINISH W/ HEAVY TEXTURE TO REMAIN

E-2 EXISTING FOUNDATION CONCRETE OFFSET

M-1 NEW STUCCO FINISH TO MATCH EXISTING IN TEXTURE AND COLOR

M-2 NEW BLACK ALUMINUM PANEL





LEGEND

S-1	WALL SCONE FIXTURE, SEE ELECTRICAL DRAWINGS
E-1	EXISTING STUCCO FINISH W/ HEAVY TEXTURE TO REMAIN
E-2	EXISTING FOUNDATION CONCRETE OFFSET
M-1	NEW STUCCO FINISH TO MATCH EXISTING IN TEXTURE AND COLOR
M-2	NEW BLACK ALUMINUM PANEL





Architectural elevation drawing of the front of a building. The drawing includes the following annotations and dimensions:

- Annotations:**
 - (E) SKYLIGHT TO BE REMOVED
 - (E) CLAY TILE ROOF TO BE REMOVED
 - (E) OVERHANG
 - (E) WALL SCIENCE TO BE REMOVED, TYP. ALL
 - E-1 TO REMAIN, TYP.
 - (E) CONCRETE FOUNDATION OFFSET
 - (E) WINDOW TO BE REMOVED
 - (E) DOOR TO BE REMOVED
 - (E) STUCCO, TYP.
 - (E) WING WALL TO BE REMOVED
- Dimensions:**
 - Overall height: 19'-3"
 - Section height: 16'-7"
 - Section height: 13'-1"
 - Horizontal dimensions from left to right:
 - 4'-10"
 - 20' - 5 3/4"
 - 4'-4"
 - 4'-0"
 - 10' - 11 3/8"
 - 5'-2"
 - 9'-10"
 - 4'-0"
 - 10' - 10 7/8"
 - 3' - 1 1/4"

2 BUILDING WEST ELEVATION - EXISTING
A5.3 SCALE: 1/4" = 1'-0"

